

Recovery and Development Agency Invitation to Tender



BOOKLET 3

REQUIREMENTS DOCUMENT

CONTRACT FOR THE

REPAIRS TO THE ATTORNEY GENERAL'S RESIDENCE

ROAD TOWN

TORTOLA

Recovery and Development Agency

Director of Procurement
Recovery and Development Agency
Wickham's Cay II
Road Town, Tortola, VG 1110
British Virgin Islands

Invitation to Tender No.
RDA/ITT/2020/007/NCB

Submission Deadline: 22 Oct 2020
By 1000 hours (10:00am)

INVITATION TO TENDER FOR THE REPAIRS TO THE ATTORNEY GENERAL'S RESIDENCE ROAD TOWN TORTOLA

The contents of this Invitation to Tender must not be disclosed to unauthorised persons and must be used only for the purposes of tendering. Please read these documents carefully before tendering.

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1. INTRODUCTION

Most buildings on the McNamara estate were damaged during the passing of Hurricanes Irma and Maria. The Attorney General's residence sustained significant damage, losing its roof. Since the hurricane, because the structure has been open to the elements, it has sustained further damage from rainwater ingress. There are also areas of the building that require works due to general deterioration.

2. LOCATION

The residence is located in Road Town, Tortola, opposite the Queen Elizabeth II Park and the Governor's House.

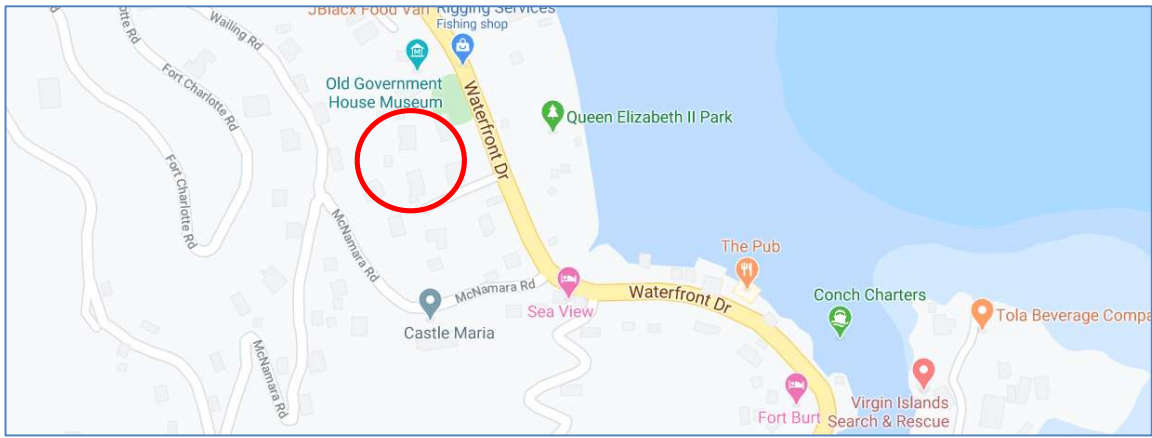


Figure 1. Location of the Project.

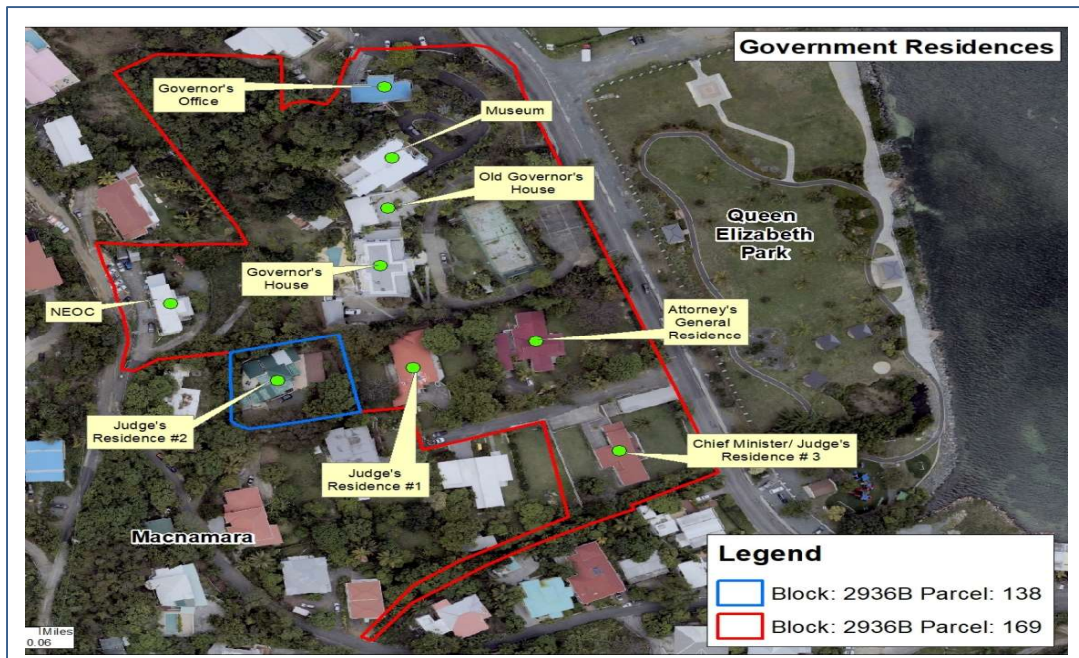


Figure 2. Overview of the Attorney General's Residence.

3. The SCOPE OF WORKS

The scope of this project is to refurbish the Attorney General's Residence, in order to provide fit-for-purpose accommodation for the Attorney General. The Contractor is to prepare his proposal to complete the works in accordance with the high-level scope of works listed below:

3.1. Prelims and Mobilisation.

The Contractor shall hand over to the Employer the appropriate insurances before any commencing works. The Contractor shall occupy the site of the Attorney General's property for an estimated period of **four (4) months**. At all times, the Contractor shall ensure a safe working environment for all work personnel and is responsible for the Health and Safety of anyone who enters the site, including the public and visiting personnel. The Contractor shall hoard the property and control the access of personnel to and from the site. The Contractor's job site management plan shall be approved prior to works commencing, and all the workers must be equipped with appropriate protective construction attire when operating on the site.

3.2. Site Preparation.

On entering the property, the Contractor shall ensure the Mechanical, Electrical and Plumbing services are isolated and turned off. The property shall be cleared of all obstructions, and all rooms emptied of furniture, fittings and equipment (FFE) for reuse and/or for disposal, as directed by the Client with consultation with the Agency's Project Manager. All salvageable material and appliances shall be moved to a place for safe keeping to be identified by the Client with consultation with the RDA. The Client will also identify salvageable items and a storage place with consultation with the RDA. The Contractor shall ensure the floors are protected with plywood in some instances and polythene in other areas, guided by the Bill of Quantities, the drawings and good engineering judgement as to the appropriate material. The toilet fixtures, bathtubs vanity closets and the like shall be enclosed by boxing them with plywood. This will protect and minimize the damage during the construction process. The Contractor shall take down six (6) internal doors for reuse, and all the other doors shall be removed and carted away.

3.3. Demolition.

When windows are removed they are to be taken out from the inside of the property without damaging the edges of the of the openings. All associated MEP fixtures in the ceiling shall be removed before taking down the drywall and the associated timber frames. The area of the main dwelling is approximately 2,581 square feet and the garage is approximately 648 square feet. All items listed for demolition are to be carefully removed and carted away. The existing kitchen (less that saved) and wall boards are to be demolished and carted away. The demolition of the remaining roof shall be executed in this order:

- Remove the downpipes and guttering;
- Fascia and verge boards;
- Flashings and roof sheeting;
- Purlins and the sound insulation;
- Roof boarding and membrane.

3.4. Client Material.

The Contractor is to remove and laid down carefully in a separate location on site, all structural members listed below for the Ministry of Public Works:

- The ridge board;
- Hip rafters;
- Valley Rafters;
- Common rafters and;
- Jack rafters.

3.5. Carting away.

All the rafters at the eaves shall be jack-hammered out of the concrete to release the feet of the rafter members. On the outside verandas of the property, the Contractor shall remove all timber balustrades and cart away. Before the new construction begins, the Contractor shall ensure that the existing ring beams are at the correct height to accommodate the new roof designs. This will be approved by the Agency's Project Manager before the new construction work commences. The Contractor shall pressure wash the existing structure to eradicate all the mould growth in the property.

3.6. Garage Roof Construction.

The Contractor shall build a mono-pitch roof over the garage, with a slope of 1 inch to 12 inches (1:12) as described on the garage roof eave detail (DWG NO. A106). The roof profile is to be set out by the contractor and approved by the Agency's Project Manager before jack hammering the existing ring beam to expose the reinforcement. This angle and depth will be used to form the soffit of the concrete infill to tie in the rebars for the new rafters (DWG NO. A104).

3.7. The garage framing.

Rafter members shall be 2" X 6" treated lumber as per the Bill of Quantities, placed at 2 feet apart. The Contractor shall build up the formwork to pour the infill for the concrete beam. Over the rafters the Contractor shall lay the $\frac{3}{4}$ plywood sheets and the ice and water shield. On top of the membrane the Contractor shall install the 2" X 4" treated purlins, placed at 2 feet centres, to fasten the 24-gauge pre painted galvalume sheets. The roof sheets shall be attached with two rows of roof screws at the eve of every two corrugation (DWG NO. A106). The Contractor shall install the treated 2" X 10" fascia and attached to the eaves to complete the installation which forms the housing for the guttering and downpipes.

3.8. Dwelling Roof Construction.

The Contractor shall build three Gable roofs over the main dwelling. Particular attention must be given to DWG NO. A105 showing the elevations on the West, South and Eastern sides of the residence over the:

- Bedroom Block;
- Dining and Living Room with a hip at the Northern End;
- Kitchen with a Valley joining the Dining Room at the Eastern End.

3.9. Height of Ring Beam.

The height of the walls must be minimum 8ft high to receive the ring beams before the Gables roofs can be constructed. The first gable roof ridge profile board will be set out as per the Roof Framing Plan (DWG NO. A103) over the Bedroom Block. The contractor shall ensure that all masonry units forming the parapet and gable walls are to be built with number 4 starter bars, epoxy and drilled into the existing ring beam. All rafters are to be fastened to the gable walls using 5/8" anchor bolts.

3.10. Separating Wall.

The Contractor shall build the extended parapet separating wall as per the detail (DWG NO. A106.1) which shows the (6) six-inch block wall six rows high above the ring beam, filled solid and reinforced with number 4 bars every 16 inches on-centre. The Contractor shall build the gable walls as per the detail (DWG NO. A103) which shows the 6-inch block walls at a pitch of 5 inches to 12 inches (5:12) and capped with a six-inch concrete beam. The Contractor shall ensure all new block work is rendered with cement and sand. Refer to DWG NO. A106 which shows a Building Section through the Roof Eve detail for ease of reference.

3.11. Roof Framing.

The Contractor is to ensure the bedroom framing rafter members are 3" X 6" treated lumber placed at 2 feet apart. The Contractor shall build up the formwork to pour the infill for the concrete beam. Over the rafters the Contractor shall lay the $\frac{3}{4}$ T1-11 plywood sheets, and the ice and water shield. On top of the membrane, the Contractor shall install the 2" x 4" treated purlins placed at 2 feet apart to fasten the 24-gauge pre painted galvalume sheets. The Contractor shall ensure that at the ridge, valley and eaves, the purlins sizes are increased to 2" x 6" treated lumber.

3.12. Roof Covering.

The roof sheets shall be fastened with two rows of roof screws at the eve of every two corrugation (see Garage Roof Eve detail DWG NO. A106). The Contractor shall install the treated 2" x 10" verge and fascia and attach to the eaves and gables to complete the installation, which forms the housing for the gutters and downpipes. The Contractor's attention is drawn to the roof ridge detail (DWG NO. A106) where at every other rafter a 3" X 6" treated wood collar is introduced to strengthen the roof structure. The wood collar is fastened to the rafters by a 2" x 6" treated wood plate with 5/8" x 7" galvanized bolts with hardware on both sides.

3.13. Ceilings.

The mono-pitch roof ceiling (as per DWG NO. A106) shows a 1" x 6" tongue-and-groove ceiling attached to the underside of the 2" x 6" rafters. The Contractor shall ensure that the main dwelling roof ceiling in the Verandas as per DWG NO. A106 shows a 1" X 6" tonged and groove ceiling attached to a 2" x 4" treated wood frame at 16" on-centre. DWG NO. A104 shows the Building Section B-B1 – through the Kitchen, a gypsum board ceiling with 2" X 4" framing brace and supported with 2" X 4" wood verticals to the roof.

3.14. Dry Wall Ceiling.

The Contractor is to supply and install drywall ceilings as per the drawings and specifications, and provide for the kitchen walls including steel stud, drywall, insulation, and finish taping, mud, and sanding ready for paint, as per the drawings and specifications.

3.15 Windows. The Contractor is to supply and install windows. Windows are to be installed in line with building codes and capable of sustaining hurricane force winds. The Contractor shall supply and install all of the following windows as per the drawing schedule which states that they are Powder Coated Aluminium, Hurricane Resistant:

Eight (8) Single Casement;
Ten (10) Double Casement;
One (1) Triple Casement.

3.16. Doors.

The Contractor shall supply and install three (3) types of doors. One (1) of these is to be steel, two (2) aluminium and three (3) solid wood doors. All doors are to be supplied and fitted with ironmongery and are to have keyed locks with stainless steel hinges. The Contractor shall supply and install all door frames, door stops, architraves and paint with oil-based colours as per the specification and drawing references:

- Type (D1) Single Flush metal and glass doors; and
- Type (D2) Single Entry.
- Type (D3) Custom fabricated wood.
- Type (D4) Single Entry.
- Type (D5) Exterior Sliding Door.
- Type (D6) Double Door Glass.

3.17. Internal Partitions.

The Contractor is to supply and install metal tracks and studs for gypsum wall boards in the kitchen. The Contractor shall supply and install 4" metal tracks and studs with R-11 insulation and 5/8" fire and mold resistant sheet rock as specified.

3.18. The Kitchen.

The Contractor shall supply and install new framing for the kitchen cupboards. Wall units for high-level cabinets and floor units for the low-level cupboards. A new countertop will be supplied and installed by the Contractor as per the specification.

3.19. Painting.

All walls shall be prepared to receive one coat of primer and two coats of interior semi-gloss paint. All drywall ceilings shall be prepared to receive one coat of primer and two coats of emulsion paint. The garage and veranda ceilings are to be finished with a whitewash pickle paint. All door frames, door stops, and architraves shall be prepared to receive oil-based paints as per the Specification. All walls shall be prepared to receive one coat primer and two coats of semi-gloss interior paint. The complete exterior of the building is to be repainted to match the existing colour.

3.20. Electrical Installation.

The Contractor shall make provisions for the supply and installation of all wiring devices and accessories inclusive of switches, receptacles, wall socket outlets, troffers, air conditioning connections, electrical panels and grounding system as required by the electrical authorities.

3.21. Electrical Inspection.

All electrics must be inspected and tested to ensure that they are safe and compliant to BVI standards. Where faults or areas of non-compliance are found then the circuits and protection should be replaced to ensure the electrics are safe for occupation of the building. Electrical test certificates for all the above testing must be provided to the RDA Project Manager. As a minimum the following should be inspected:

- Continuity of protective conductors, including main and supplementary bonding;
- Continuity of ring final circuit conductors;
- Insulation resistance testing;
- Polarity testing;
- Earth fault loop impedance testing;
- Prospective fault current testing;
- RCD testing;
- Phase sequence testing;
- Functional testing.

3.22. Plumbing Installation.

The Contractor is to allow for the potential supply and installation of plumbing accessories in line with the Bill of Quantities. The Contractor is to clean, service and commission all the Plumbing fixtures and fittings after the construction is complete. The Contractor is to make good any faults of the system in the event of unforeseen blockages.

3.23. Air conditioning Installation.

The Contractor is to allow for the potential supply and installation of air conditioning accessories in line with the Bill of Quantities. The Contractor is to clean, service and commission all air conditioning units including the power source, disconnect switches, condensate lines and all accessories.

3.24. Exterior Works and Finishing.

Repair concrete spalling throughout the building. The Contractor is to supply and install new metal railings along the steps and the verandas.

4. SPECIFICATIONS

All building works must be completed in accordance with the BVI Buildings Ordinance 1955, the BVI Building Regulations 1999, and the BVI Physical planning act 2004. All electrical works must be inspected and tested to ensure that they are safe and compliant to BVI standards, as per the testing regime in the Scope of Works. Exterior doors and windows are installed that is in line with BVI building codes and capable of sustaining hurricane force winds. All products must be ASTM and High-Velocity Hurricane Zones (HVHZ) rated.

5. ASSESSMENT OF RETURNS.

A detailed technical submission which should incorporate all the requirements set out in Booklet 1 – Instructions to Tenderers. Tenderers are required to achieve a minimum score of 60 in the technical evaluation in order to qualify for the commercial (price) evaluation.

The tender return will be assessed on the basis of a commercial (price) weighting of 65% and technical content and quality of the proposal at 35%.

Assessors will evaluate the Tenderer's technical submission, against the scoring criteria shown on the technical criteria evaluation sheet. The Authority may seek clarifications from the tenderers in the tender evaluation period and award works to the most responsive bid.

6. FORMAT OF RETURNS

Contractors wishing to conduct this works should submit the following to the Authority:

- A fixed-price lump sum for the completion of the works;
- A priced Bill of Quantities. There is a Bill of Quantities provided with this Request for Quotation for the contractor to use. If there are amendments to the Bill of Quantities, the contractor should include these as an addition to the provided Bill;
- A schedule/ programme of works for the completion of the works. This should include:
 - The proposed start date,
 - Proposed completion date;
 - the activities to be conducted and the dates they will be completed on/ how long they will take;
 - and how long the entire package of works will take to complete.

7. HANDOVER DOCUMENTATION

The following handover documentation must be provided at the end of the contract:

- A Cover Document (Summary);
- Keys, fobs and transmitter controls for the building;
- The Health and Safety File;
- The building owner's manual (O&M);
- The building log book;
- A building user's guide;
- Up-to-date testing and commissioning data;
- All equipment test certificates and warranties in respect of the works;
- As-built drawings from consultants and specialist suppliers and contractors (or as manufactured and installed),;
- Copies of statutory approvals, waivers, consents and conditions;
- Licenses for any specific facilities, such as licenses to store chemicals and gases.

For more information on any of these elements of the handover, the Contractor is referred to the Handover Guide which is available on request from the RDA Project Manager.

8. COMMUNICATION, COORDINATION AND PERMISSIONS

The Contractor shall be responsible for liaising with the public authorities and acquiring necessary inspections and approvals from the relevant authorities.

9. REPORTING

An updated MS Project/ Excel file must be submitted bi-weekly along with a written progress report to the Project Manager. This is due 2:00pm every other Friday and will contain:

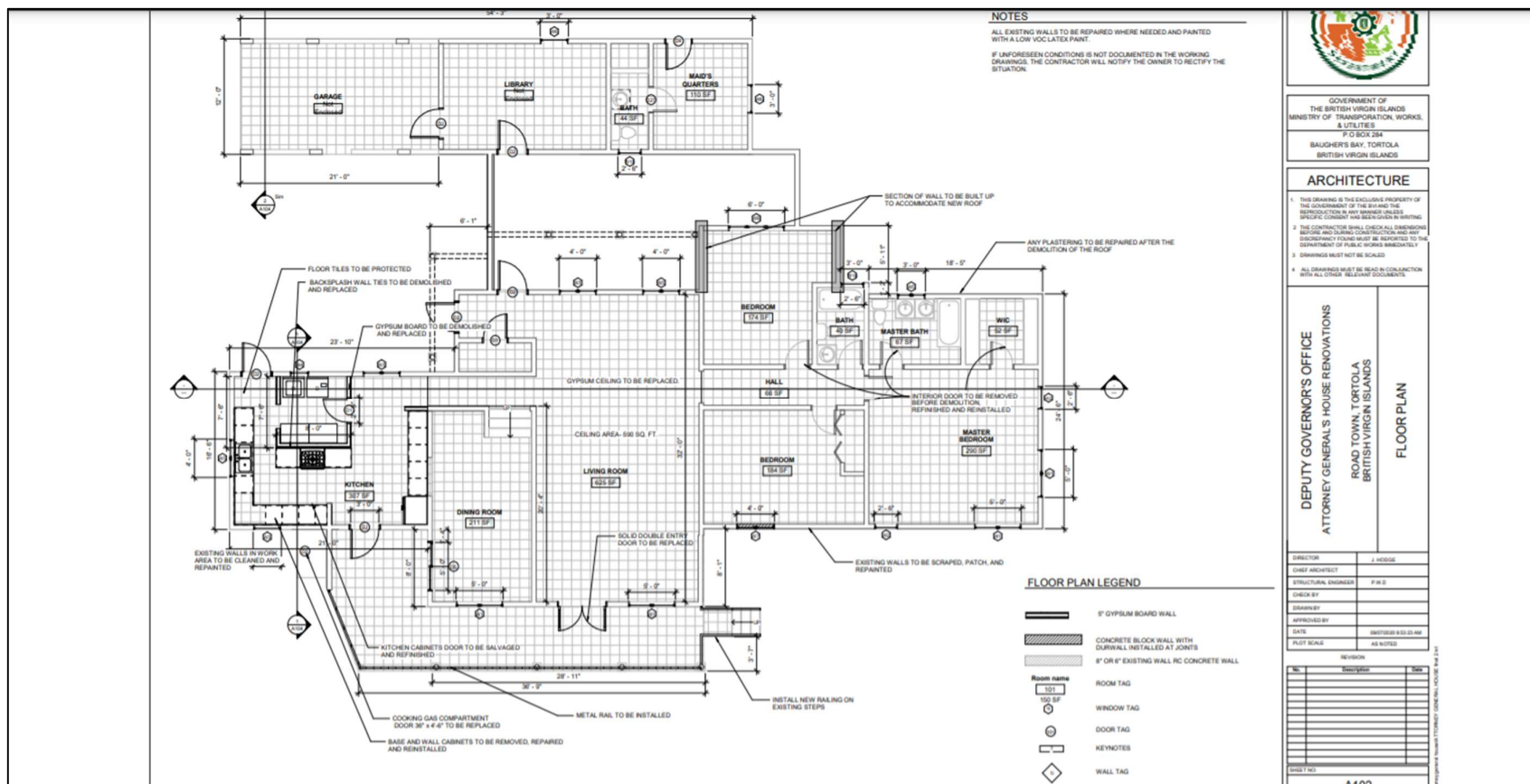
- Tasks to be completed this month;
- Tasks to be completed next month;
- Key milestones;
- Variations;
- Risks;
- Issues;
- Schedule;
- Health and safety;
- Photographic log.

10. ANNEXES

Annex A. Floor Plan of the Attorney General's Residence.


Annex B. Imagery of the Attorney General's Residence.

The following image is a Floor Plan of the Attorney General's Residence. It is meant to aid you as the contractor in understanding where each of the rooms are in the buildings, and therefore what you are looking at in the following images.





Annex B. Imagery of the Attorney's Residence.


The details provided in this Annex are meant to complement the main document and provide a pictorial indication of the works required. The photographs provided are to assist the contractor to understand the current condition of the room and are not intended to show the full scope of works within the room of all of the defects that require correction. All work shall be completed in accordance with the Scope of Works and the Specification.


Room Name	Kitchen
Image(s) of Room	
Description of Condition	<ul style="list-style-type: none"> • The windows are to be removed and replaced with hurricane impact resistant window. • The floor tiles are to be protected. • Install new kitchen units matching the existing layout. • Install kitchen lights • Treat any mould within the kitchen. • All walls to be cleaned and painted. • Remove and replace ceiling and framing • Remove and replace conduit, wires and fixtures


Room Name	Kitchen
Image(s) of Room	
Description of Condition	<ul style="list-style-type: none"> • Walls to be scraped • Wall tiles to be protected • Floor tiles to be protected • Draw handles to be removed and set aside for client • Draws to be removed and set aside for client • Cupboard handles to be removed and set aside for the client • Cupboard doors and shelves to be removed and set aside for the client • Hinges and draw sliders to be removed and set aside for the client • High and low-level kitchen cupboards to be removed and set aside for the client • Kitchen Appliances "Fridge & Stove" to be relocated to another area and reinstated on completion of the kitchen.


Room Name	Laundry Room
Image(s) of Room	
Description of Condition	<ul style="list-style-type: none"> • Laundry Sink to be protected • Laundry appliances "Washing machine and Dryer" to be relocated to another area and reinstated on completion of the laundry room. • Receptacles to be removed • Plumbing Work to be protected. • Walls to be scraped • Floor tiles to be protected • Laundry window to be removed and replaced with hurricane impact window • Laundry door to be replaced • Door frame and lining to be removed and replaced • Skirting boards to be removed and replaced • Mold to be eradicated


Room Name	Bedroom
Image(s) of Room	
Description of Condition	<ul style="list-style-type: none"> • Remove all bedroom furniture • Remove the bed • Remove mirrors and frames off the wall • Ceiling Fan Fixture to be removed and replaced • Switch plates to be removed and replaced • Drywall ceiling and frames to be removed and replaced • Walls to be scraped and painted • Floor tiles to be protected • Bedroom doors to be removed and painted to be rehung • Door frames and linings to be removed and replaced • Skirting boards to be removed and replaced • Mold to be eradicated • Bedroom shelf to be carefully dismantled and stored for reuse • All trimmings and linings for the shelf to be carefully dismantled and stored for reuse • Bedroom closets doors to be carefully dismantled and stored for reuse • Closets hinges to be carefully dismantled and stored for reuse • Closets handles to be carefully dismantled and stored for reuse • Closets shelves to be carefully dismantled and stored for reuse • All internal doors are to be carefully dismantled and stored for reuse


Room Name	Living Room
Image(s) of Room	 <p>The photograph shows a living room with a high ceiling. A ceiling fan is installed, and there is significant damage to the ceiling structure, with some material missing and exposed. A wooden door is visible on the left, and a tiled floor covers the room. In the background, there is a counter or divider wall with a mirror and some items on it. The room appears to be in need of significant repair work.</p>
Description of Condition	<ul style="list-style-type: none"> • Light Fixture to be removed and replaced • Ceiling fan fixture to be removed and replaced • Conduit and wires to be taken down and replaced • Sound insulation to be removed and replaced • Ceiling framing to be removed and replaced • Dormer windows and Ventilation louvers to be removed • Walls to be scraped and painted • Floor tiles to be protected • Divider work top to be removed and replaced • Main entrance door to be removed and replaced • Hinges handles and door locks to be removed and replaced • Door frame and lining to be removed and replaced • Skirting boards to be removed and replaced • Mold to be eradicated

Room Name	Bathroom
Image(s) of Room	
Description of Condition	<ul style="list-style-type: none"> • Bathroom fixtures to be protected, shower, bathtub, toilet and face basin • Walls to be scraped and painted • Wall tiles to be protected • Floor tiles to be protected • Draw handles to be removed and replaced • Draws to be removed and replaced • Cupboard handles to be removed and replaced • Cupboard doors and shelves to be removed and replaced • Hinges and draw sliders to be removed and replaced • Vanity cupboards are to be protected • Mold to be eradicated • Bathroom shelves and medicine cabinet to be carefully dismantled and stored for reuse • All trimmings and linings for the shelves and medicine cabinet to be carefully dismantled and stored for reuse

Room Name	Exterior Western side
Image(s) of Room	
Description of Condition	<ul style="list-style-type: none"> • External Light Fixture to be removed and replaced • External security camera to be removed • External wires to be removed • Walls to be scraped • Western Sliding Door to be replaced. • Pump Room door to be removed and replaced • Hinges handles and door locks to be removed • Door frame and lining to be removed and replaced • New roof to be constructed over the pump room • External Shutters to be removed • Windows to be removed and replaced with hurricane impact resistant windows • Eave boarding to be removed and replaced • Fascia Boards to be removed and replaced • Roof covering to be removed and replaced • Existing gable wall to be demolished to accommodate the new ring beam • Western gable wall to be rebuilt at a higher elevation to accommodate the New Ridge. • Southern external wall to be built higher to accommodate the new ring beam. • New Valley rafter to be constructed at the intersection (The intersection being the Kitchen and the Dining room). • New metal railing to be installed from the decorative block wall. • All external walls to be prepared and repainted

Room Name	Entrance
Image(s) of Room	
Description of Condition	<ul style="list-style-type: none"> • External Light Fixture to be removed and replaced • External security camera to be removed • External wires to be removed • Walls to be scraped • Laundry and Dining room External Doors to be replaced. • Library room External Door to be replaced. • Hinges handles and door locks to be removed • Door frame and lining to be removed and replaced • External Shutters to be removed • Windows to be removed and with hurricane impact resistant windows • Eave boarding to be removed and replaced • Fascia Boards to be removed and replaced • Roof covering to be removed and replaced • Western external wall to be built higher to accommodate the new ring beam. • The Western external wall to be prepared and repainted • Decorative Columns to be scraped and repainted with the external painting of the residence • Mono pitch roof height to be determined on site • External wall to be raised after the height is determined • New concrete Ring beam to be constructed • Structural frame to be built over the Garage / Library and Maids quarters • Roof covering to be installed after in this order; • 1" X 6" Tonged and Groove boarding • The membrane; Ice and Water Shield • Purlins • Plywood decking • Ice and water shield • Battens • Flashings • Roof Galvalume sheets

Room Name	Front of Building
Image(s) of Room	
Description of Condition	<ul style="list-style-type: none"> • External Light Fixture to be removed and replaced • External security camera to be removed • External wires to be removed • Walls to be scraped • Kitchen and Living room External Doors to be replaced. • Hinges handles and door locks to be removed • Door frame and lining to be removed • New gable roof to be constructed over the Southern Veranda • External Shutters to be removed • Windows to be removed and replaced with hurricane impact resistant windows • Down pipes to be removed and replaced • Guttering to be removed and replaced • Eave boarding to be removed and replaced • Fascia Boards to be removed and replaced • Roof covering to be removed and replaced • Existing gable dormer windows and wall to be demolished to accommodate the new ring beam over the Veranda • Southern external wall to be built higher to accommodate the new ring beam. • Southern gable wall to be built at a higher elevation to accommodate the New Ridge. • New metal railing to be installed at the Southern veranda. • The southern external wall to be prepared and repainted • Decorative Columns to be scraped and repainted with the external painting of the residence

Room Name	Back Roof
Image(s) of Room	
Description of Condition	<ul style="list-style-type: none"> • The valley /gable dormer and mono pitch roof to be demolished • A new separating wall to be built between the Bedroom block and the Living room above the level of the new Roof will act as a Parapet Wall • The parapet wall will have drains on both sides to accommodate the rainwater • A new Hip roof to be constructed over the Veranda on the Northern elevation • The new hip roof to be built at the Northern end will accommodate a gable roof on the opposite side at the Southern elevation • Walls to be scraped • External Shutters to be removed • Windows to be removed and replaced with hurricane impact resistant windows • Down pipes to be removed and replaced • Guttering to be removed and replaced • Eave boarding to be removed and replaced • Fascia Boards to be removed and replaced • Roof covering to be removed and replaced • The northern external wall to be built higher to accommodate the new ring beam. • The new ring beam will accommodate the new hip and jack rafters. • The new hip roof will drain along the Parapet wall on the western elevation • The northern elevation external wall to be prepared and repainted.

